

Local Development Plan Standards

1 GENERAL

- 1.1 The standards outlined in this Local Development Plan (LDP) constitute variations to the requirements of the Residential Design Codes (R-Codes), Local Planning Scheme No. 17 (LSP 17) and Local Planning Policy (LPP) POL-LP-11. The requirements of the R-Codes and LPS 17, including any LPPs, shall be satisfied in all other matters.
- 1.2 Consultation with neighbouring and/or nearby landowners to achieve a variation to the R-Codes in accordance with the provisions of this LDP will not be required.
- 1.3 Minor variations to the requirements of the R-Codes and to the provisions of this LDP may be approved by the City of Swan.
- 1.4 The density code for each lot is as per the prevailing Residential Code Plan.

2 LOTS 266 & 485

Garage Setback & Width/Vehicular Access

Front Loaded	For Lots 266 and 485 a double garage is permitted to a maximum width of 6m as viewed from the street subject to: <ul style="list-style-type: none"> - a minimum 4.5m garage setback from the primary street; - the garage being located a minimum of 1m behind the building; - a major opening to a habitable room directly facing the primary street; - an entry feature consisting of a porch or veranda with a minimum depth of 1.2m; and - no vehicular crossover wider than 4.5m where it meets the street.
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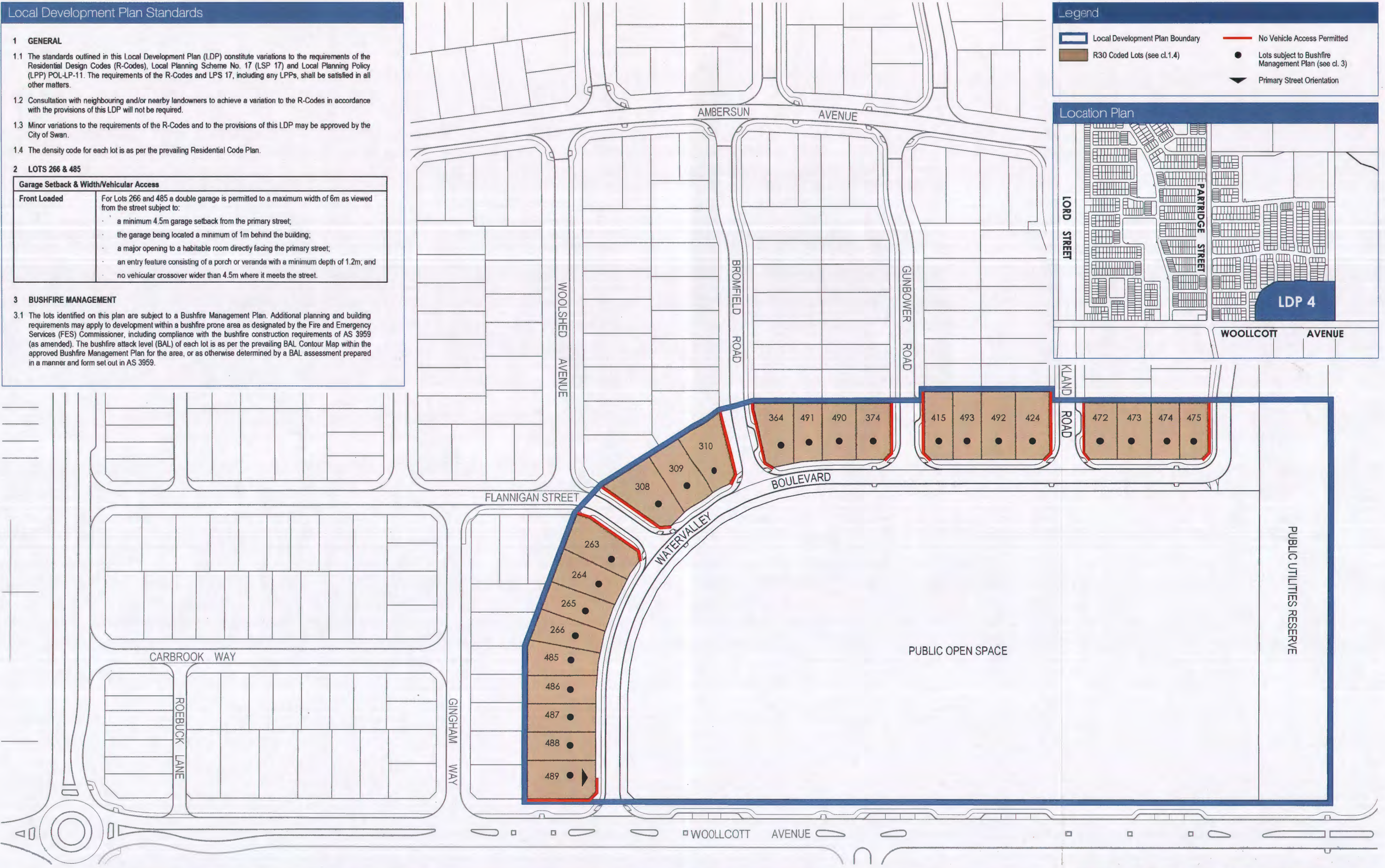
3 BUSHFIRE MANAGEMENT

- 3.1 The lots identified on this plan are subject to a Bushfire Management Plan. Additional planning and building requirements may apply to development within a bushfire prone area as designated by the Fire and Emergency Services (FES) Commissioner, including compliance with the bushfire construction requirements of AS 3959 (as amended). The bushfire attack level (BAL) of each lot is as per the prevailing BAL Contour Map within the approved Bushfire Management Plan for the area, or as otherwise determined by a BAL assessment prepared in a manner and form set out in AS 3959.

Legend

- Local Development Plan Boundary
- No Vehicle Access Permitted
- R30 Coded Lots (see cl.1.4)
- Lots subject to Bushfire Management Plan (see cl. 3)
- Primary Street Orientation

Location Plan



LOCAL DEVELOPMENT PLAN
Watervalley Boulevard Lots
 Ariella Estate, Brabham

ENDORSEMENT TABLE
 This Local Development Plan has been adopted by Council and signed by the Manager/Coordinator Statutory Planning

Manager/Coordinator Statutory Planning: *[Signature]*

Date: **27.2.2019** CoS Ref: **LDP-14/16/A**

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